

APPENDIX

- i DECISION NOTICE
- ii FINAL AND BINDING LETTER

Kyle Knoeck
Acting Director, Zoning and Secretary-
Treasurer
Committee of Adjustment
City Planning Division

Committee of Adjustment
Toronto and East York
Toronto City Hall
100 Queen Street West
Toronto, Ontario M5H 2N2

416-392-0413
coa.tey@toronto.ca

Wednesday, February 9, 2022

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number: A1357/21TEY
Property Address: 24 BRICK CRT
Legal Description: PLAN 214 PT LOT 37 RP 66R18046 PART 29
Agent: JOSIMAR DOMINGUEZ
Owner(s): DARLAN GUIMARAES D JUNIOR
JASON JOHN FITZPATRICK
Zoning: R (d1.0) (x449)
R3 Z1.0(ZZC)
Ward: Toronto-Danforth (14)
Community: Toronto
Heritage: Not Applicable

Notice was given and a Virtual Public Hearing was held on **Wednesday, February 9, 2022**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey duplex with a front basement walkout, rear second and third storey balconies, a front third storey balcony, and a rooftop terrace. A new rear ancillary building (detached garage) will also be constructed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 150.10.40.1(1)(B), By-law 569-2013**
A pedestrian entrance leading exclusively to a secondary suite is not permitted in a front main wall of a detached dwelling.
The front basement walkout will lead exclusively to the basement secondary suite.
- 2. Chapter 200.5.1.10.(2)(A)(IV), By-law 569-2013**
The required parking space must have a minimum width of 3.2 m.
The parking space will have a width of 2.85 m.

- 3. Chapter 10.5.40.50.(2), By-law 569-2013**
In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3 m of a building, must comply with the minimum required building setbacks for the zone (0.9 m).
The rear second storey balcony, rear third storey balcony, front third storey balcony, and rooftop patio will be located 0.15 m from the side (north and south) lot lines.
- 4. Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% (6.97 m²) of the required front yard landscaping must be soft landscaping.
The front yard soft landscaping area will be equal to 31% (2.89 m²).
- 5. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 1.0 times the area of the lot (128.95 m²).
The new building will have a floor space index equal to 1.29 times the area of the lot (166.16 m²).
- 6. Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The new building will be located 0.15 m from the side (north and south) lot lines.
- 7. Chapter 10.5.40.60.(1)(A)(i), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 1.18 m if it is no closer to a side lot line than the required side yard setback;
0.9 m.
The front porch will encroach 1.56 m into the required front yard setback and will be located 0.15 m from the side (south) lot line.
- 8. Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.
The front porch stairs will be located 0.0 m from the front (east) lot line and 0.15 m from the side (south) lot line.
The front basement walkout will be located 0.0 m from the front (east) lot line and 0.15 m from the side (north) lot line.
The rooftop exterior stairs will be located 0.4 m from the side (south) lot line.

9. Chapter 10.5.60.20.(5)(A), By-law 569-2013

The minimum required rear yard setback for an ancillary building or structure containing a parking space where the rear lot line abuts a lane and vehicle access to the parking space in the ancillary building is from the lane is 1 m. The new ancillary building will be located 0 m from the rear (west) lot line.

10. Chapter 10.5.60.20.(6)(A), By-law 569-2013

The minimum required side yard setback for an ancillary building or structure containing a parking space where a side lot line abuts a lane is 1 m. The new ancillary building will be located 0.15 m from the side (north) lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved, as amended, on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

The decision is subject to the following condition(s):

- (1) The rooftop terrace shall be constructed with opaque privacy screening or fencing that is permanent, located on the south side of the terrace to a minimum height of 1.5 m, measured from the floor of the terrace.
- (2) Prior to the issuance of a building permit, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting the subject site or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

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Zoning: R (d1.0) (x449)
R3 Z1.0(ZZC)
Ward: Toronto-Danforth (14)
Community: Toronto
Heritage: Not Applicable



NANCY OOMEN
(CHAIR)



YIM CHAN



PETER REED



NIMROD SALAMON

DATE DECISION MAILED ON: **Tuesday, February 15, 2022**

LAST DATE OF APPEAL: **Tuesday, March 1, 2022**

CERTIFIED TRUE COPY



Sabrina Salatino
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed by email with the Deputy Secretary-Treasurer, Committee of Adjustment to coa.tey@toronto.ca and Sabrina.Salatino@toronto.ca by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Land Tribunal (OLT) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- A completed TLAB Notice of Appeal (Form 1).
- \$300 for each appeal filed regardless if related and submitted by the same appellant.
- Fees are payable to the **City of Toronto**. Once your appeal has been received by e-mail by the Deputy Secretary –Treasurer you will receive payment instructions.

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB website at www.toronto.ca/tlab.

ONTARIO LAND TRIBUNAL (OLT) INSTRUCTIONS

To appeal this decision to the OLT you need the following:

- A completed OLT Appellant Form (A1) in digital format on a USB stick and in paper format.
- \$400 with an additional reduced fee of \$25 for each connected appeal filed by the same appellant.
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).
- Due to the Covid-19 Emergency please contact the Deputy Secretary-Treasurer to make arrangements in submitting the appeal.

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Land Tribunal (OLT) website at <https://olt.gov.on.ca/appeals-process/forms/>

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Land Tribunal (OLT)** should be submitted in accordance with the instructions above.



Sabrina Salatino
Manager and Deputy Secretary-Treasurer

Michael Mizzi
Director, Zoning and Secretary-Treasurer
Committee of Adjustment
City Planning Division

Committee of Adjustment
Toronto and East York
Toronto City Hall
100 Queen St. W.
Toronto ON M5H 2N2

416-392-7565
coa.tey@toronto.ca

Final and Binding Letter

Wednesday, March 2, 2022

Subject: Final and Binding Decision for: **24 BRICK CRT**
Committee of Adjustment Minor Variance File No: A1357/21TEY

This is to confirm that no appeal was filed, and the Decision of the Committee of Adjustment was Final and Binding on March 2, 2022.

Yours truly,

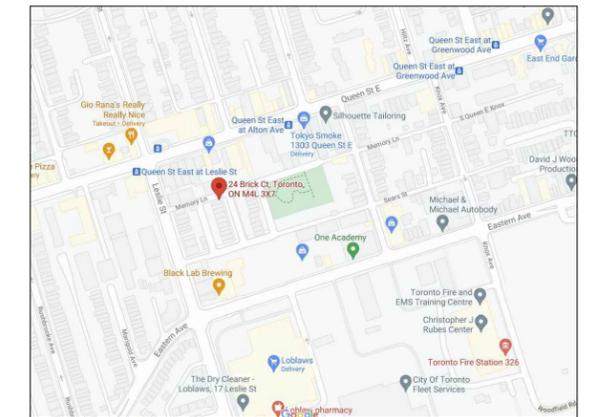
Sabrina Salatino
Manager and Deputy Secretary-Treasurer

24 BRICK CT

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A3.0	PROPOSED WALL SECTIONS

PROPOSED FLOOR AREAS		
FLOOR	TOTAL	
	SF	m2
THIRD	545.07	50.64
SECOND	584.80	54.33
GROUND	658.71	61.20
BASEMENT	665.37	61.81
TOTAL	2453.95	227.98
GFA (DOES NOT INCLUDE BASEMENT)	1788.58	166.16

ZONING STATISTICS			
MUNICIPAL ADDRESS	24 BRICK CT		
LEGAL DESCRIPTION	PART 29 OF PLAN 214 PT LOT 36 RP 66R-18046		
ZONING DESIGNATION – CITY-WIDE	R (d1.0) (x449) HT14.0		
TYPE OF BUILDING	DETACHED SFD W/ SECONDARY SUITE		
REQUIREMENT	PERMITTED	EXISTING	PROPOSED
LOT AREA	N/A	128.95 m ²	NO CHANGE
FRONTAGE	N/A	4.62 m	NO CHANGE
FLOOR SPACE INDEX	1.0 (128.95 m ²)	0.00 (0.0 m ²)	1.29 (166.16 m ²)
SETBACK – FRONT	2.36 m	N/A	2.39 m
SETBACK – NORTH SIDE YARD	0.9 m	N/A	0.15 m
SETBACK – SOUTH SIDE YARD	0.45 m	N/A	0.15 m
SETBACK – REAR	7.5 m	N/A	9.92 m
BUILDING DEPTH	17.0 m	N/A	14.33 m
HEIGHT	14.0 m	N/A	12.25 m
PARKING	1 SPACE	N/A	1 SPACE
FRONT YARD AREA	–	N/A	11.05 m ²
REQ. LANDSCAPING (DOESN'T INC. ROW)	50% (5.53 m ²)	N/A	100% (11.05 m ²)
REQ. SOFT LANDSCAPING	75% (8.29 m ²)	N/A	20% (2.17 m ²)
REAR YARD AREA	–	N/A	51.72 m ²
REQUIRED SOFT LANDSCAPING	50% (25.86m ²)	N/A	21.36% (11.05 m ²)

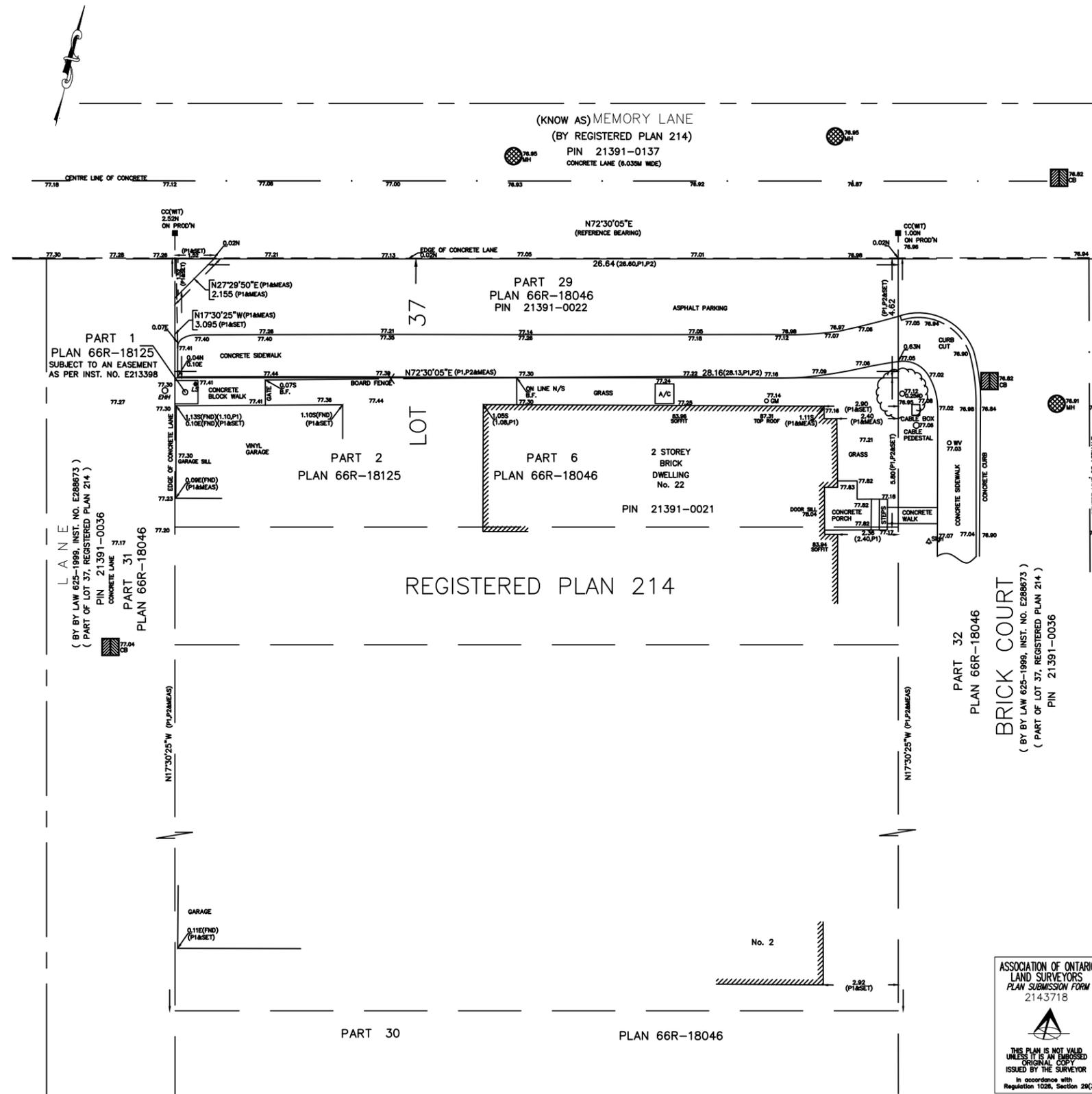


SURVEYOR'S REAL PROPERTY REPORT
 PART 1
 PLAN OF
 PART OF LOT 37
 REGISTERED PLAN 214
 CITY OF TORONTO

SCALE 1:100

 © D. POPA SURVEYING INC., 2021.

- METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048
- BEARINGS BEARINGS SHOWN HEREON ARE ASTROMOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF PART 29, AS SHOWN ON PLAN 66R-18046, HAVING A BEARING OF N 72° 30' 05" W.
- ELEVATION NOTE ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO CITY OF TORONTO BENCH MARK NO. 12219740290 (CT290) HAVING A PUBLISHED ELEVATION OF 78.363 METRES.
- LEGEND
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - CC DENOTES CUT CROSS
 - WIT DENOTES WITNESS
 - RP DENOTES REGISTERED PLAN 214
 - P1 DENOTES PLAN BY RABIDEAU & CZERWINSKI, O.L.S., DATED 2 NOVEMBER 1998
 - P2 DENOTES PLAN 66R-18046
 - PROD'N DENOTES PRODUCTION
 - FND DENOTES FOUNDATION
 - BF DENOTES BOARD FENCE
 - A/C DENOTES AIR CONDITIONING UNIT
 - GM DENOTES GAS METER
 - WV DENOTES WATER VALVE
 - CB DENOTES CATCH BASIN
 - MH DENOTES MANHOLE
 - EHH DENOTES HANDWELL
 - LS DENOTES LIGHT STANDARD
 - 0.20ØD DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER



SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON 03 MARCH 2021.

09 MARCH 2021
 DORIN POPA
 ONTARIO LAND SURVEYOR

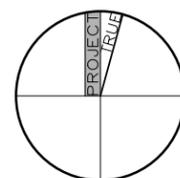
THIS REPORT WAS PREPARED FOR: JASON FITZPATRICK
 PART 2
 THIS REPORT MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED 09 MARCH 2021.

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 214-3718

THIS PLAN IS NOT VALID UNLESS IT IS AN UNIMPRESSED ORIGINAL COPY ISSUED BY THE SURVEYOR
 In accordance with Regulation 1026, Section 29(3)

D. POPA SURVEYING INC.
 ONTARIO LAND SURVEYOR
 20 GAMBLE AVE, SUITE 306, TORONTO, ONTARIO, M4K 2G9
 Tel/Fax 416-428-4165
 popasurveying@rogers.com http://sites.google.com/site/popasurveying

CALC: D.P. FIELD: D.P. JOB: 21-1155 DWG: 21-1155.dwg



2 ISSUED FOR ZCC
 1 SITE PLAN APPROVAL
 NO. REVISION

2021 AUG 18
 2018 MAY 15
 DATE

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 647 823 6877
 info@craigrace.com

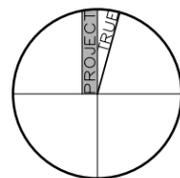
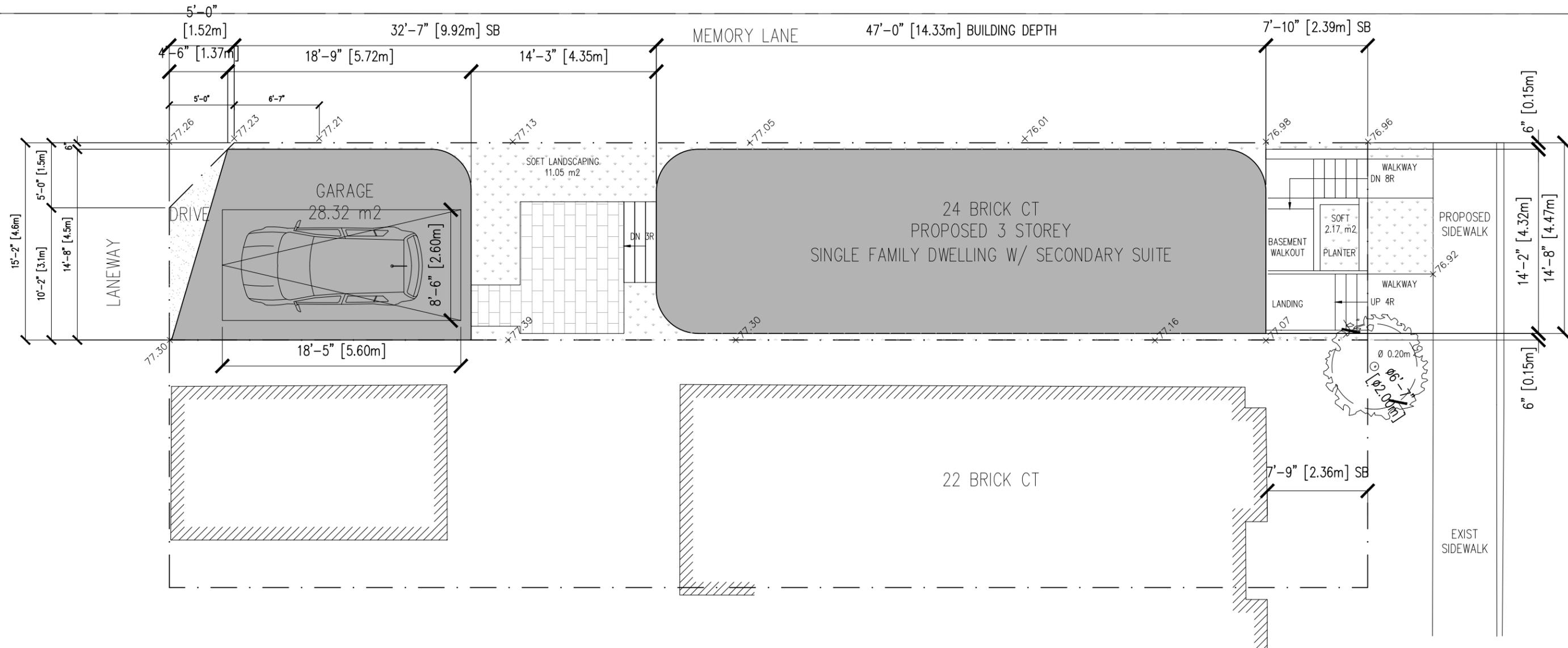
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BRICK CT RESIDENCE SURVEY
 24 BRICK COURT
 TORONTO, ON
 M4L 3X7

PROJECT: 21114
 SCALE: 1/16" = 1'-0"
 DATE: 2021.08.09

A0.1



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2021 AUG 18
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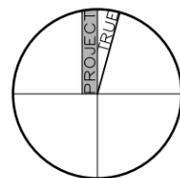
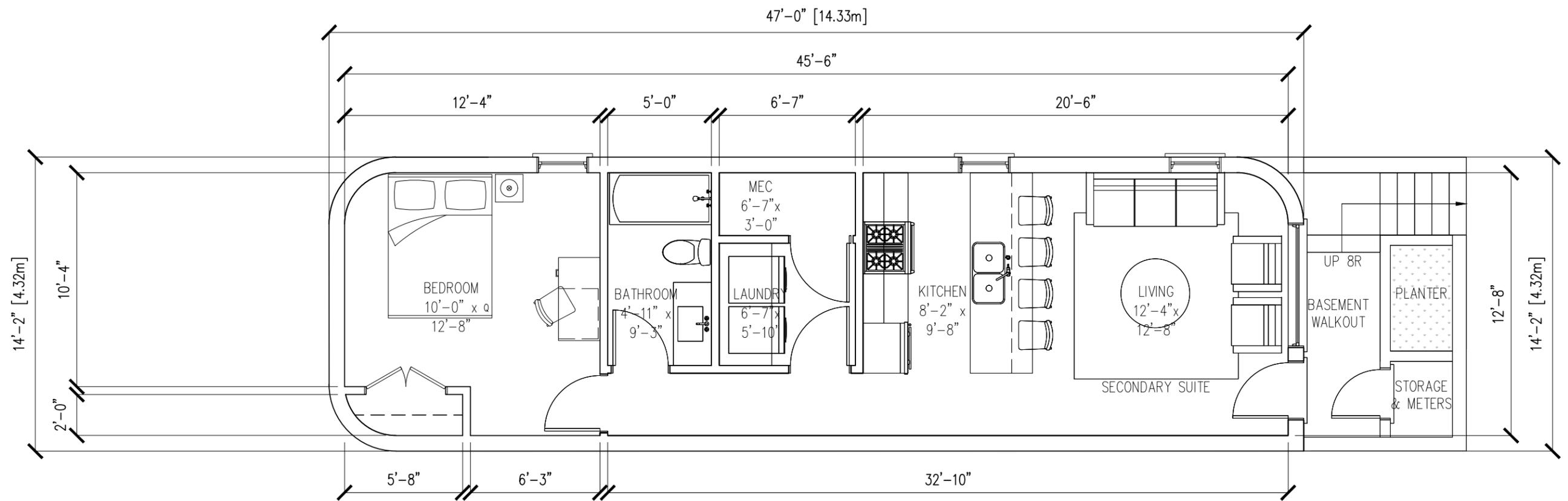
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BRICK CT RESIDENCE PROPOSED SITE
 24 BRICK COURT PLAN
 TORONTO, ON
 M4L 3X7

PROJECT: 21114
 SCALE: 1/8" = 1'-0"
 DATE: 2021.08.09

A0.2



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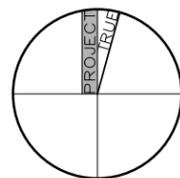
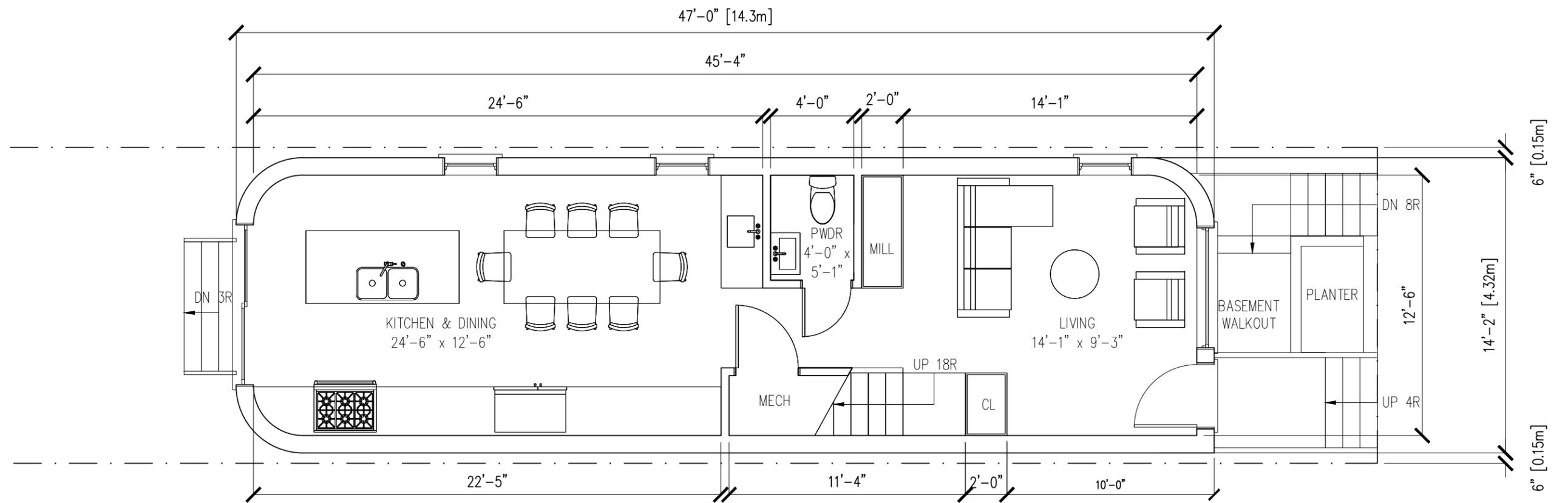
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BRICK CT RESIDENCE PROPOSED
 24 BRICK COURT
 TORONTO, ON
 M4L 3X7

BASEMENT PLAN
 PROJECT: 21114
 SCALE: 3/16" = 1'-0"
 DATE: 2021.08.09

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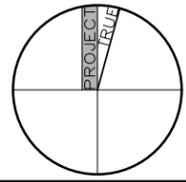
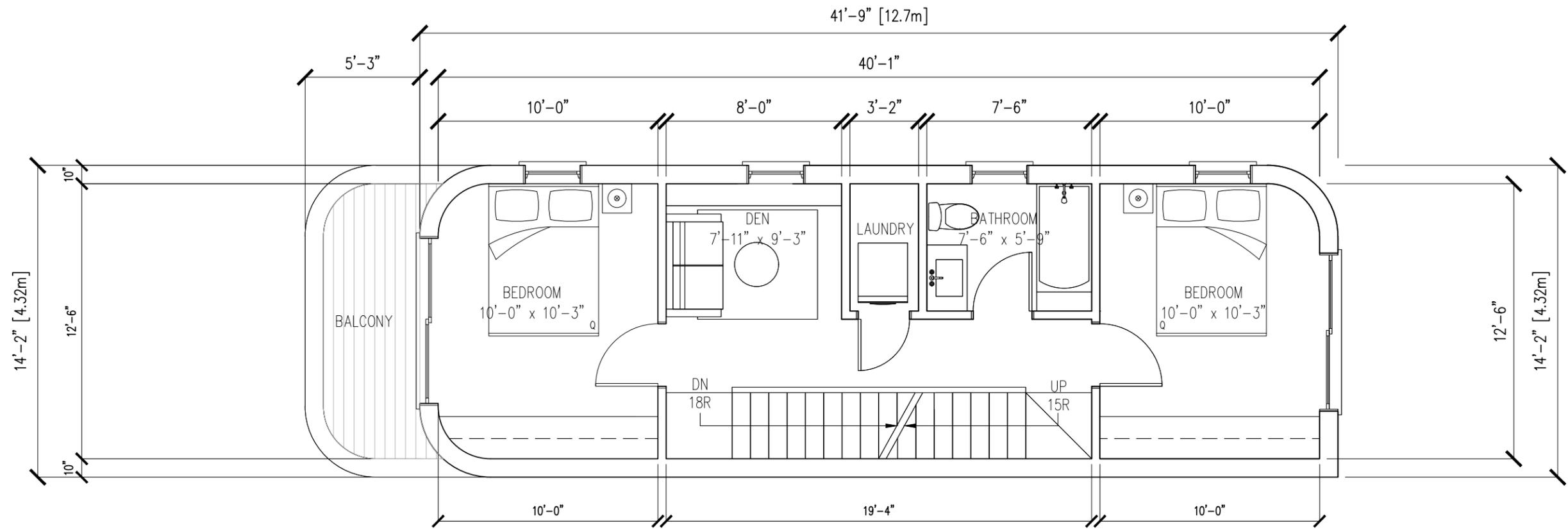
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BRICK CT RESIDENCE PROPOSED MAIN
 24 BRICK COURT FLOOR PLAN
 TORONTO, ON
 M4L 3X7
 PROJECT: 21114
 SCALE: 3/16" = 1'-0"
 DATE : 2021.08.09

A1.1



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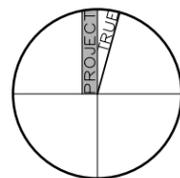
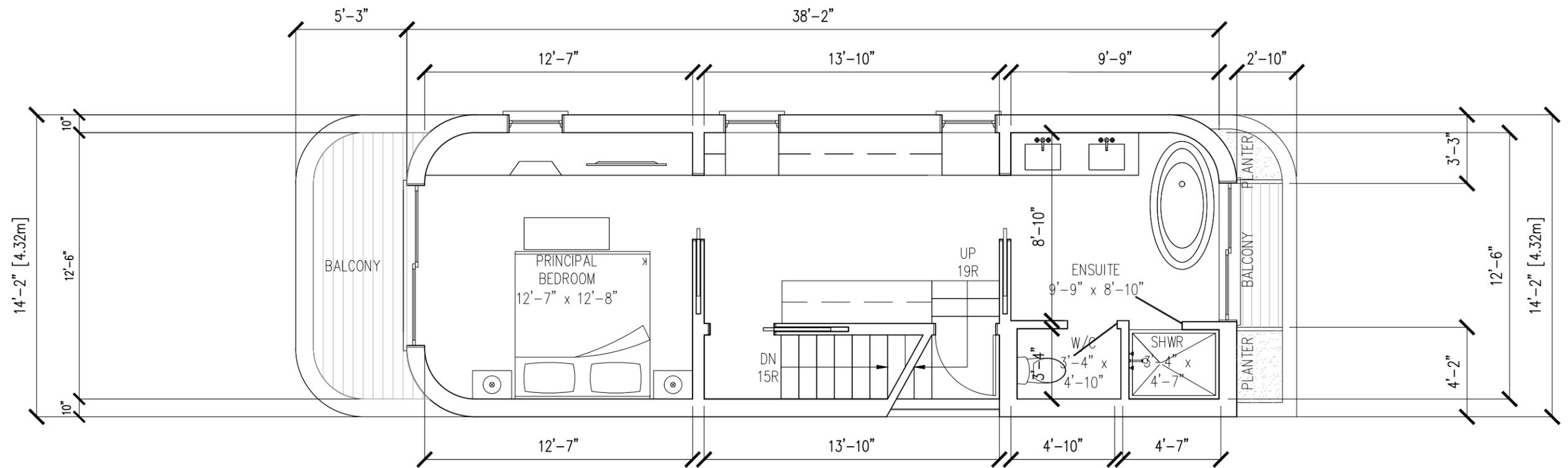
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BRICK CT RESIDENCE PROPOSED SECOND
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 DATE : 2021.08.09

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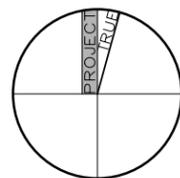
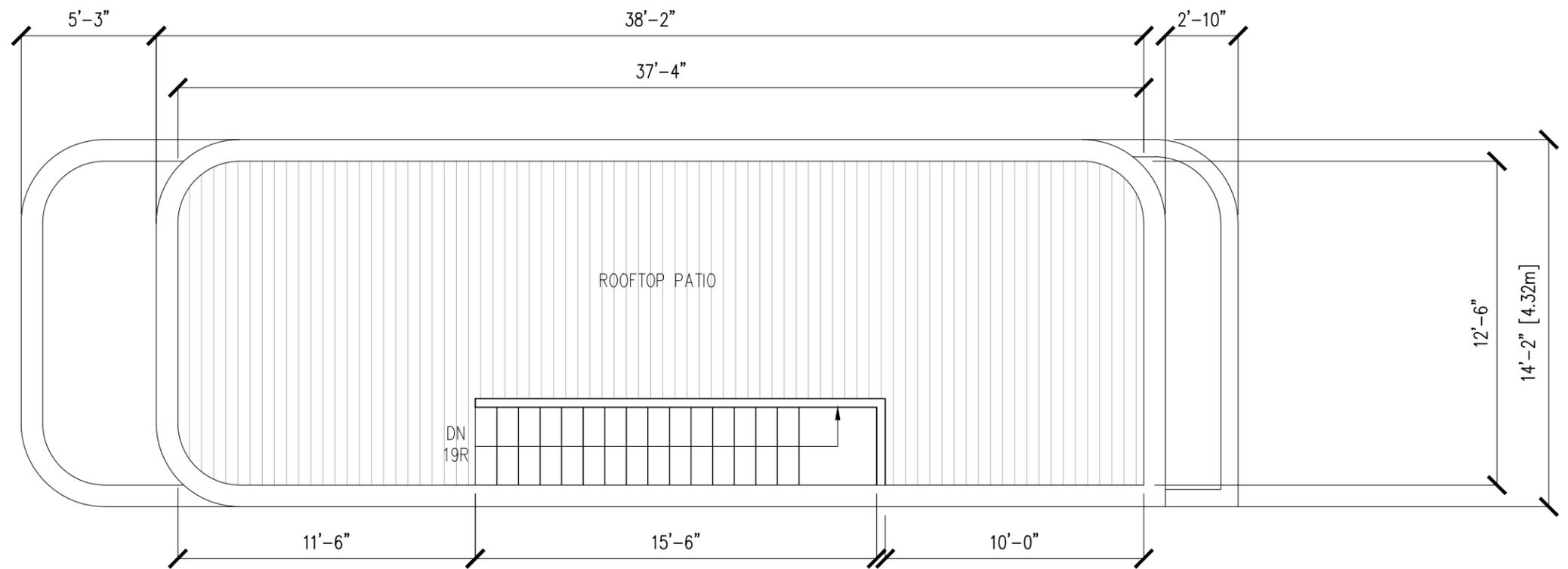
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BRICK CT RESIDENCE PROPOSED THIRD
 24 BRICK COURT FLOOR PLAN
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A1.3



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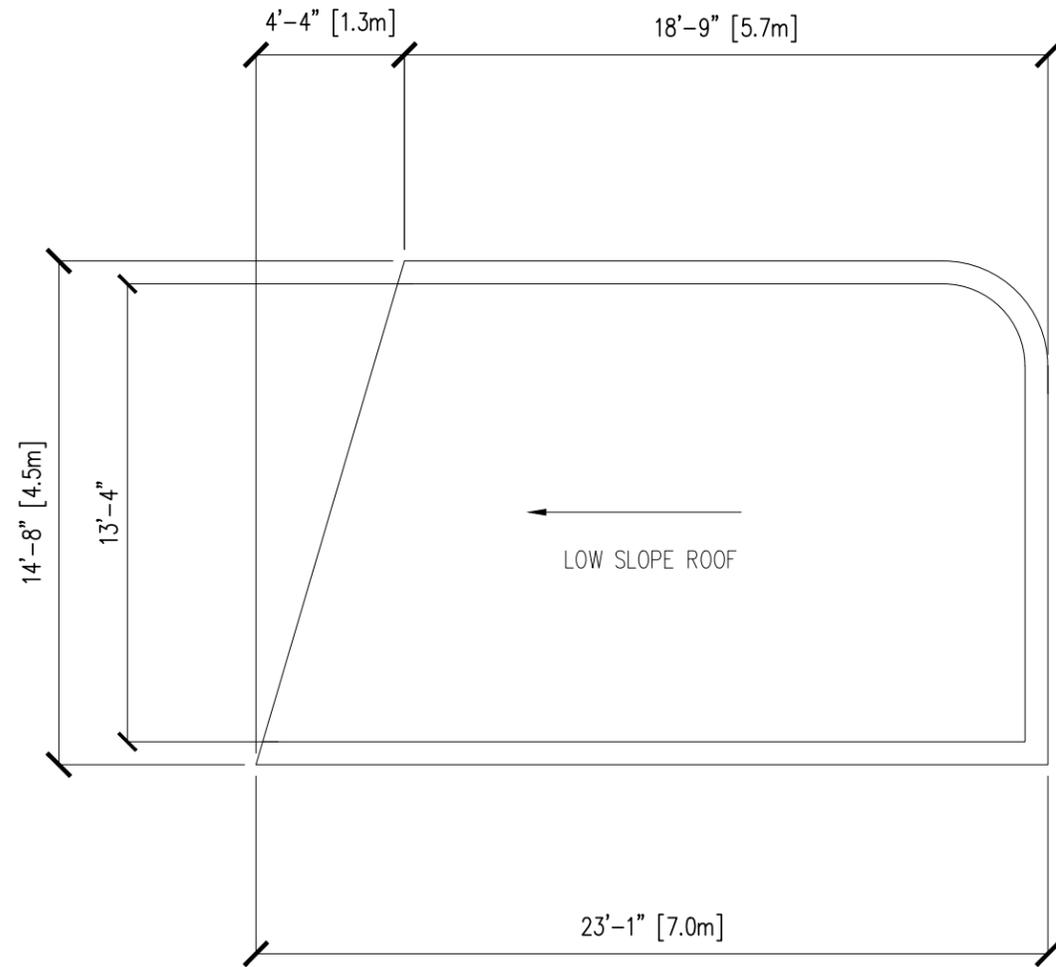
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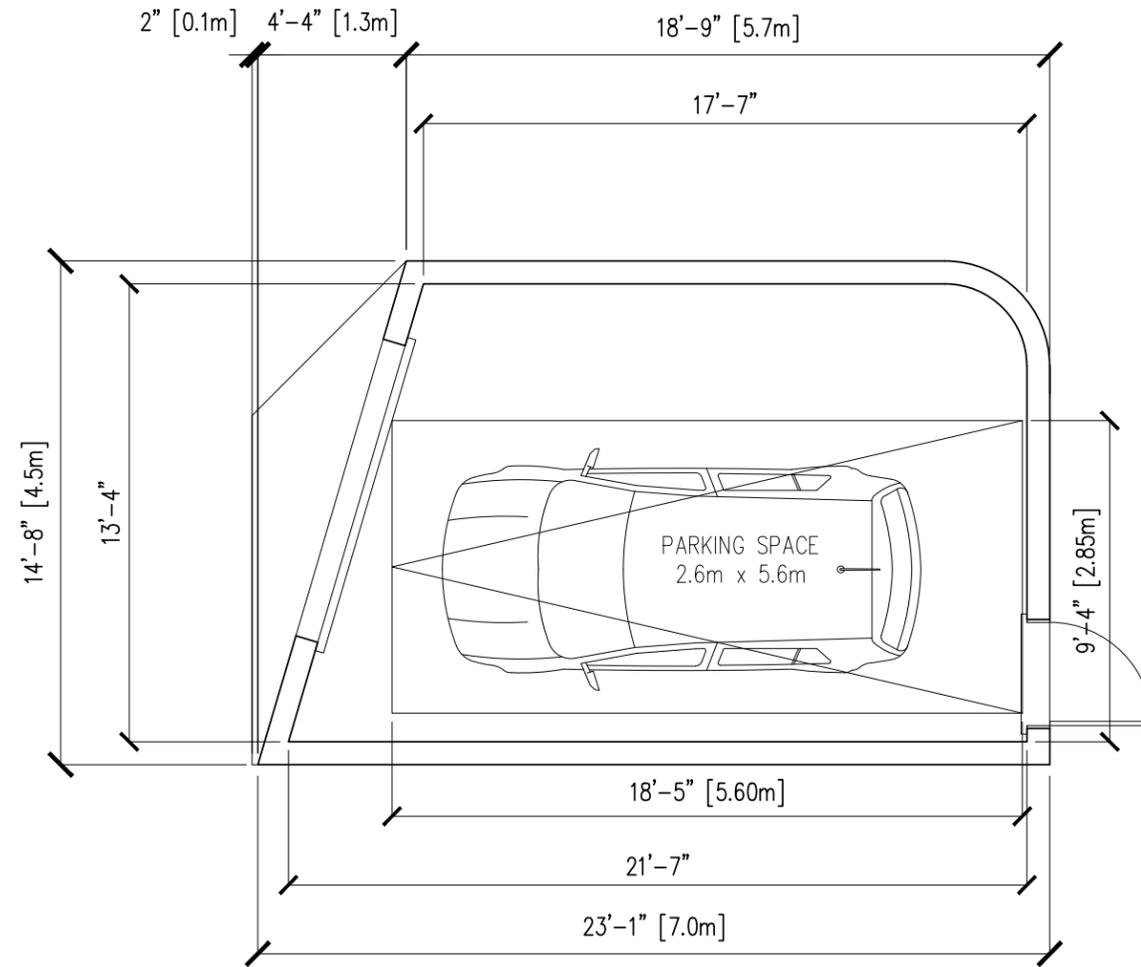
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BRICK CT RESIDENCE PROPOSED ROOF
 24 BRICK COURT PLAN
 TORONTO, ON
 M4L 3X7
 PROJECT: 21114
 SCALE: 3/16" = 1'-0"
 DATE : 2021.08.09

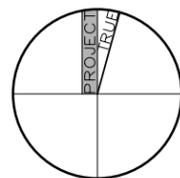
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2 PROPOSED GARAGE ROOF
1/8" = 1'-0"



1 PROPOSED GARAGE PLAN
1/8" = 1'-0"



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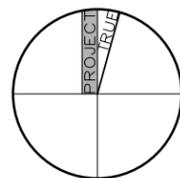
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BRICK CT RESIDENCE GARAGE PLANS
24 BRICK COURT
TORONTO, ON
M4L 3X7
PROJECT: 21114
SCALE: 1/8" = 1'-0"
DATE: 2021.08.09

A1.5



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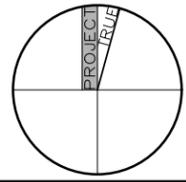
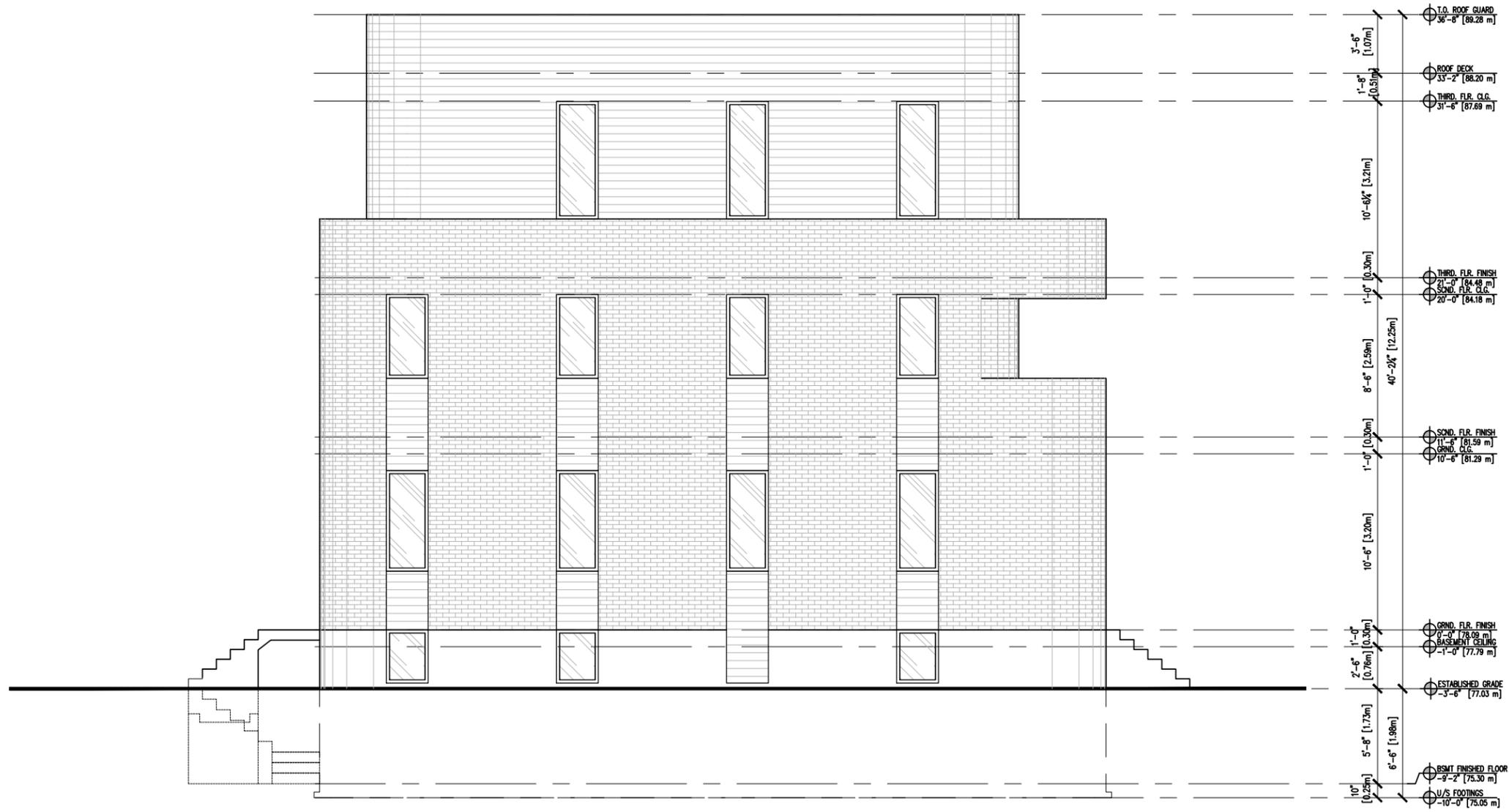
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BRICK CT RESIDENCE PROPOSED EAST & WEST ELEVATION
 24 BRICK COURT
 TORONTO, ON
 M4L 3X7
 PROJECT: 21114
 SCALE: 1/8" = 1'-0"
 DATE: 2021.08.09

A2.0



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 1 SITE PLAN APPROVAL
 NO. REVISION

2021 AUG 18
 2018 MAY 15
 DATE

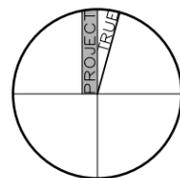
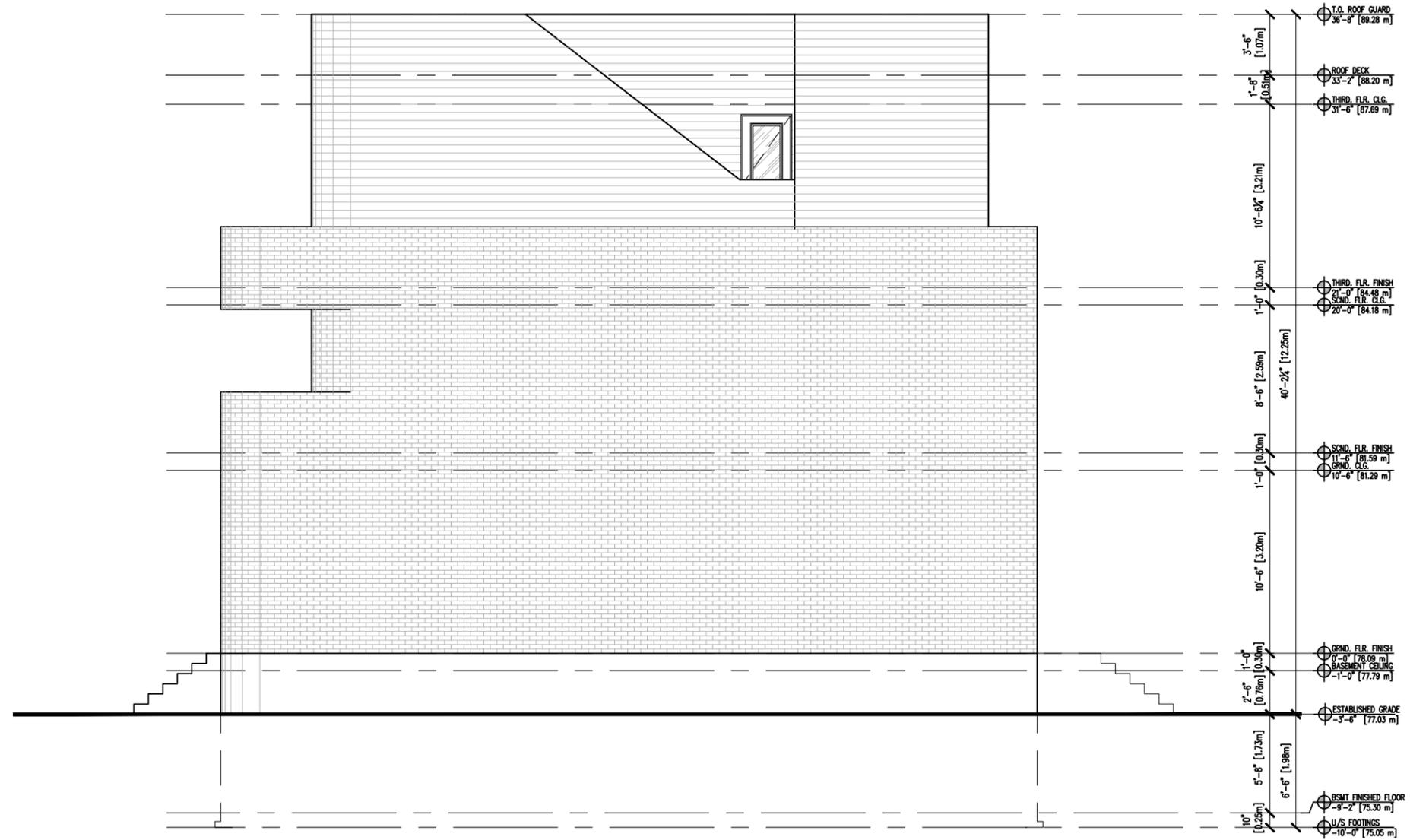
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BRICK CT RESIDENCE PROPOSED NORTH
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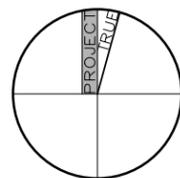
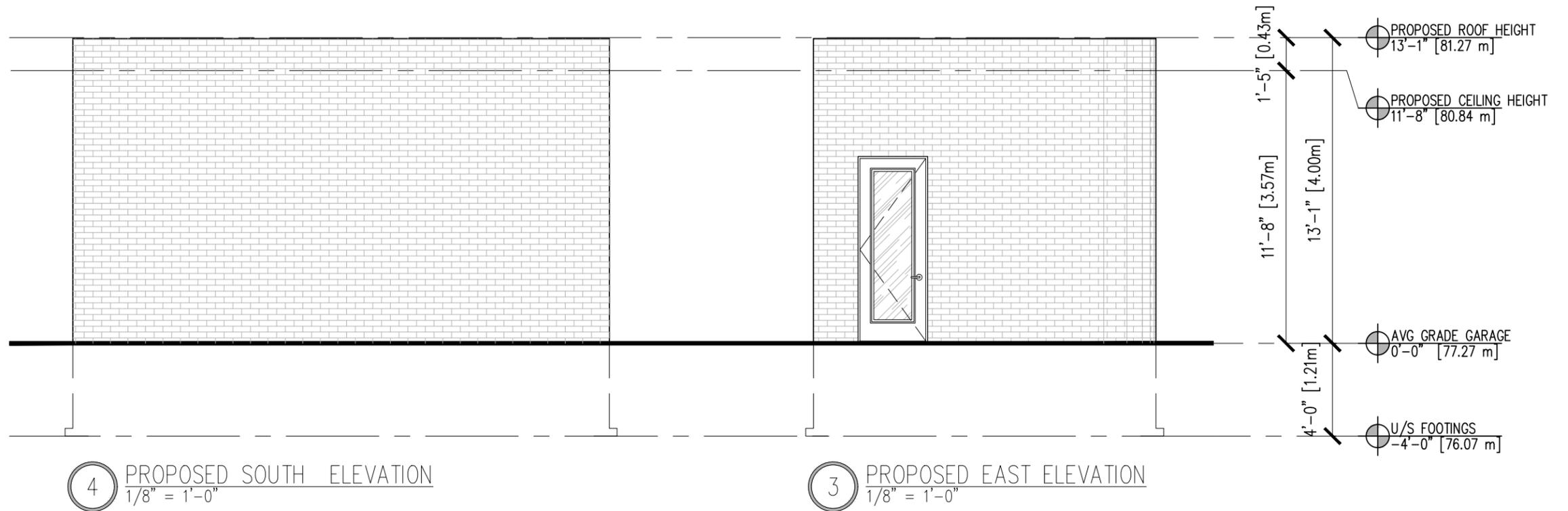
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BRICK CT RESIDENCE PROPOSED SOUTH
 24 BRICK COURT ELEVATION
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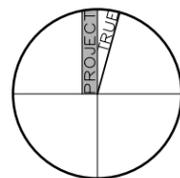
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BRICK CT RESIDENCE GARAGE
24 BRICK COURT ELEVATIONS
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BRICK CT RESIDENCE PROPOSED E-W
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 TORONTO, ON
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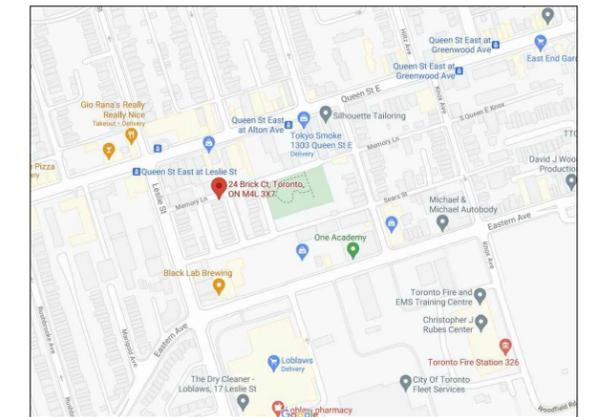
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24 BRICK CT

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A0.0-A0.2	GENERAL INFO & STATISTICS, SURVEY, SITE PLAN
A1.0-A1.5	PROPOSED FLOOR PLANS
A2.0-A2.3	PROPOSED EXTERIOR ELEVATIONS
A3.0	PROPOSED WALL SECTIONS

PROPOSED FLOOR AREAS		
FLOOR	TOTAL	
	SF	m2
THIRD	545.07	50.64
SECOND	584.80	54.33
GROUND	658.71	61.20
BASEMENT	665.37	61.81
TOTAL	2453.95	227.98
GFA (DOES NOT INCLUDE BASEMENT)	1788.58	166.16

ZONING STATISTICS			
MUNICIPAL ADDRESS	24 BRICK CT		
LEGAL DESCRIPTION	PART 29 OF PLAN 214 PT LOT 36 RP 66R-18046		
ZONING DESIGNATION – CITY-WIDE	R (d1.0) (x449) HT14.0		
TYPE OF BUILDING	DETACHED SFD W/ SECONDARY SUITE		
REQUIREMENT	PERMITTED	EXISTING	PROPOSED
LOT AREA	N/A	128.95 m ²	NO CHANGE
FRONTAGE	N/A	4.62 m	NO CHANGE
FLOOR SPACE INDEX	1.0 (128.95 m ²)	0.00 (0.0 m ²)	1.29 (166.16 m ²)
SETBACK – FRONT	2.36 m	N/A	2.39 m
SETBACK – NORTH SIDE YARD	0.9 m	N/A	0.15 m
SETBACK – SOUTH SIDE YARD	0.45 m	N/A	0.15 m
SETBACK – REAR	7.5 m	N/A	9.92 m
BUILDING DEPTH	17.0 m	N/A	14.33 m
HEIGHT	14.0 m	N/A	12.25 m
PARKING	1 SPACE	N/A	1 SPACE
FRONT YARD AREA	–	N/A	11.05 m ²
REQ. LANDSCAPING (DOESN'T INC. ROW)	50% (5.53 m ²)	N/A	100% (11.05 m ²)
REQ. SOFT LANDSCAPING	75% (8.29 m ²)	N/A	20% (2.17 m ²)
REAR YARD AREA	–	N/A	51.72 m ²
REQUIRED SOFT LANDSCAPING	50% (25.86m ²)	N/A	21.36% (11.05 m ²)



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BRICK CT RESIDENCE COVER PAGE AND
24 BRICK COURT SITE STATISTICS
TORONTO, ON
M4L 3X7
PROJECT: 21114
SCALE:
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SURVEYOR'S REAL PROPERTY REPORT
 PART 1
 PLAN OF
 PART OF LOT 37
 REGISTERED PLAN 214
 CITY OF TORONTO



© D. POPA SURVEYING INC., 2021.

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARINGS BEARINGS SHOWN HEREON ARE ASTROMOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF PART 29, AS SHOWN ON PLAN 66R-18046, HAVING A BEARING OF N 72° 30' 05" W.

ELEVATION NOTE ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO CITY OF TORONTO BENCH MARK NO. 12219740290 (CT290) HAVING A PUBLISHED ELEVATION OF 78.363 METRES.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
CC	DENOTES	CUT CROSS
WIT	DENOTES	WITNESS
RP	DENOTES	REGISTERED PLAN 214
P1	DENOTES	PLAN BY RABIDEAU & CZERWINSKI, O.L.S., DATED 2 NOVEMBER 1998
P2	DENOTES	PLAN 66R-18046
PROD'N	DENOTES	PRODUCTION
FND	DENOTES	FOUNDATION
BF	DENOTES	BOARD FENCE
A/C	DENOTES	AIR CONDITIONING UNIT
GM	DENOTES	GAS METER
WV	DENOTES	WATER VALVE
CB	DENOTES	CATCH BASIN
MH	DENOTES	MANHOLE
EHH	DENOTES	HANDWELL
LS	DENOTES	LIGHT STANDARD
0.20ØD	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER

SURVEYOR'S CERTIFICATE

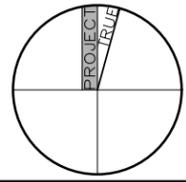
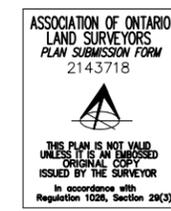
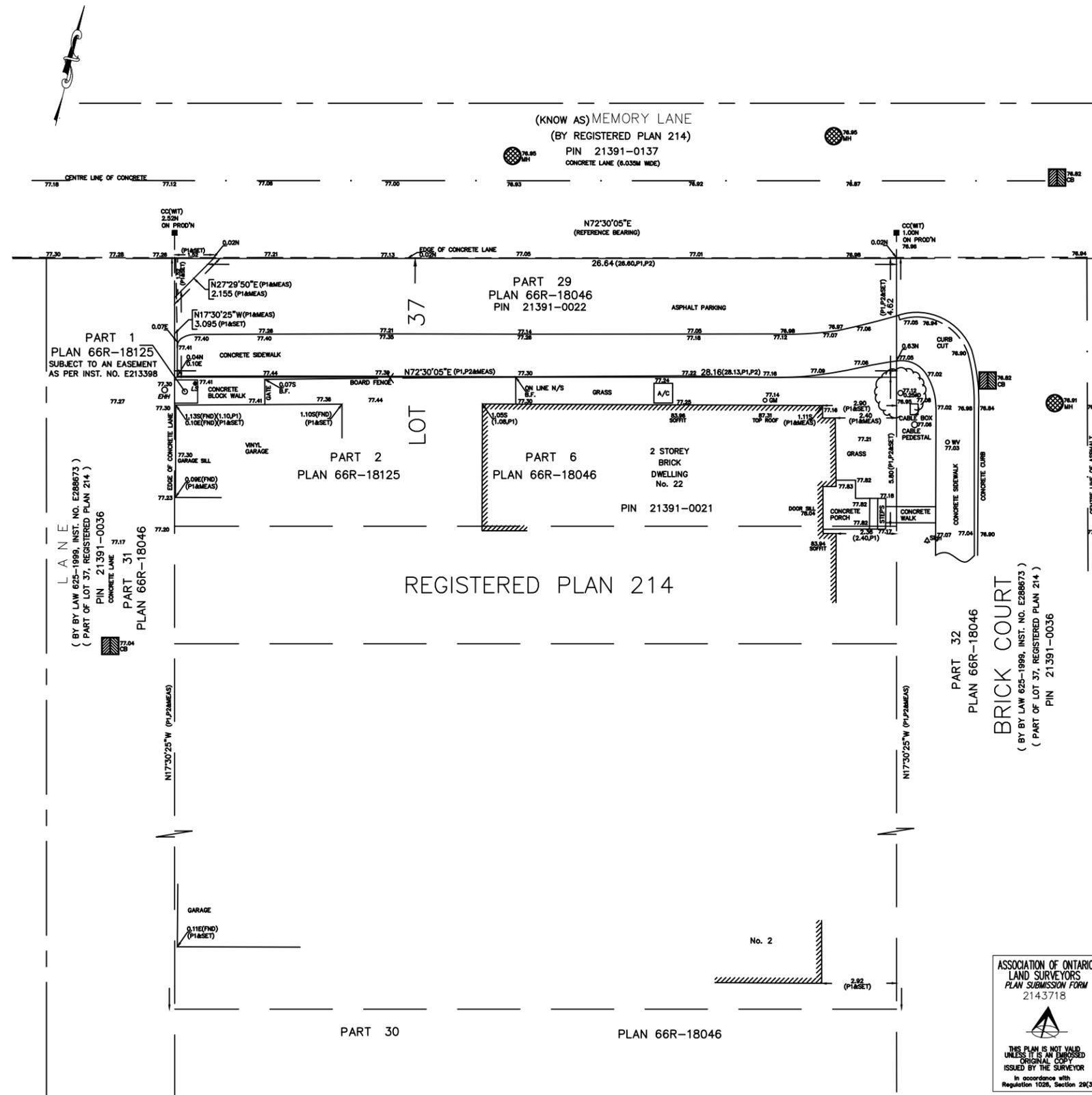
- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON 03 MARCH 2021.

09 MARCH 2021
 DORIN POPA
 ONTARIO LAND SURVEYOR

THIS REPORT WAS PREPARED FOR: JASON FITZPATRICK
 PART 2
 THIS REPORT MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED 09 MARCH 2021.

D. POPA SURVEYING INC.
 ONTARIO LAND SURVEYOR
 20 GAMBLE AVE, SUITE 306, TORONTO, ONTARIO, M4K 2G9
 Tel/Fax 416-428-4165
 popasurveying@rogers.com http://sites.google.com/site/popasurveying

CALC: D.P. FIELD: D.P. JOB: 21-1155 DWG: 21-1155.dwg



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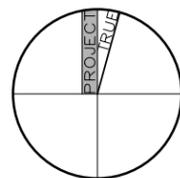
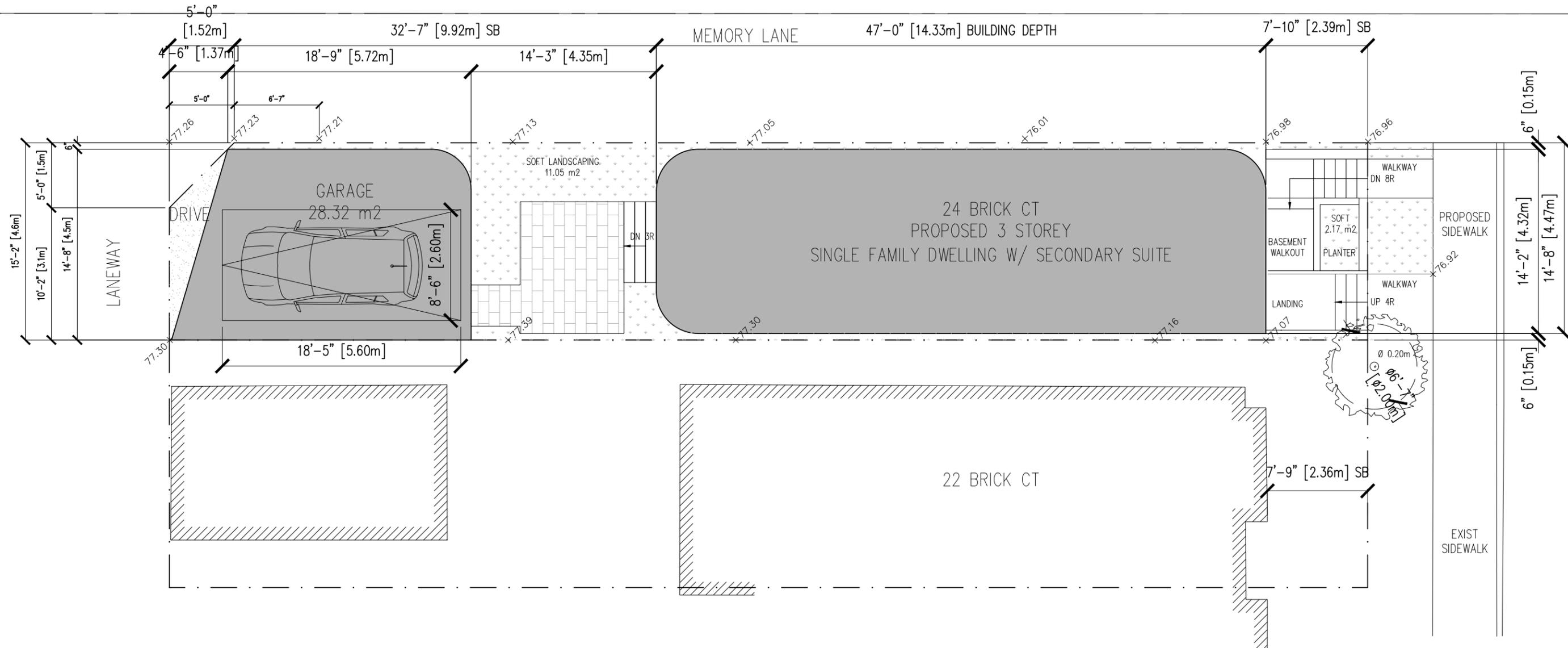
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BRICK CT RESIDENCE SURVEY
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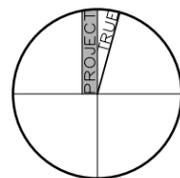
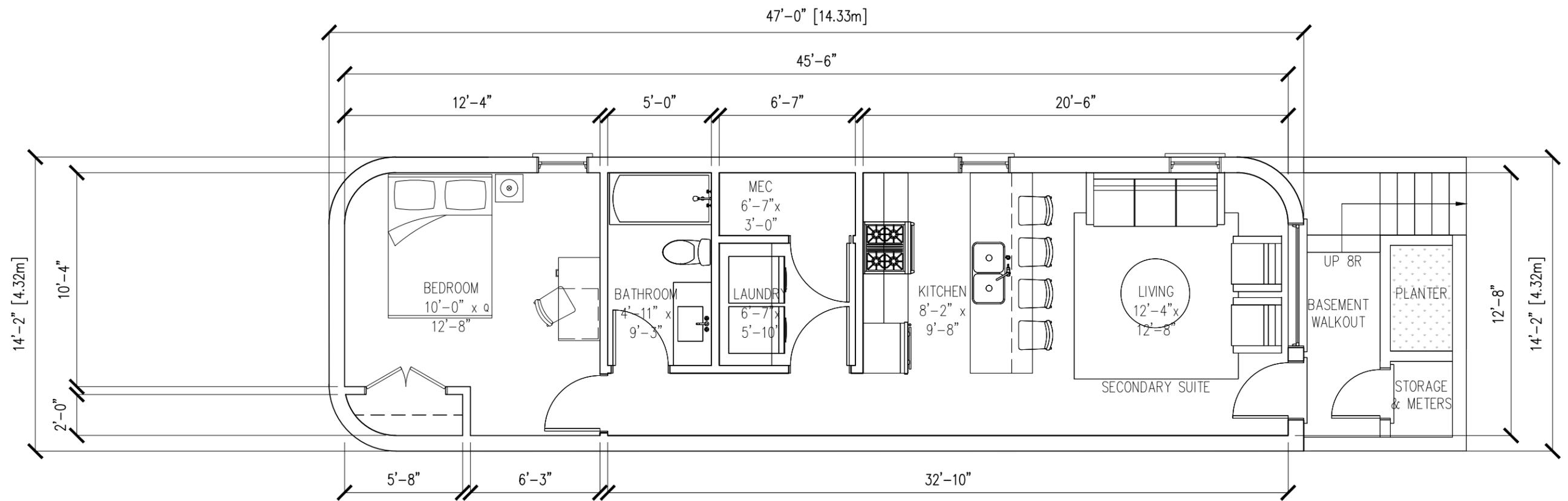
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BRICK CT RESIDENCE PROPOSED SITE
 24 BRICK COURT PLAN
 TORONTO, ON
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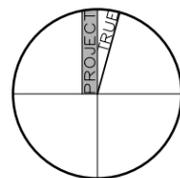
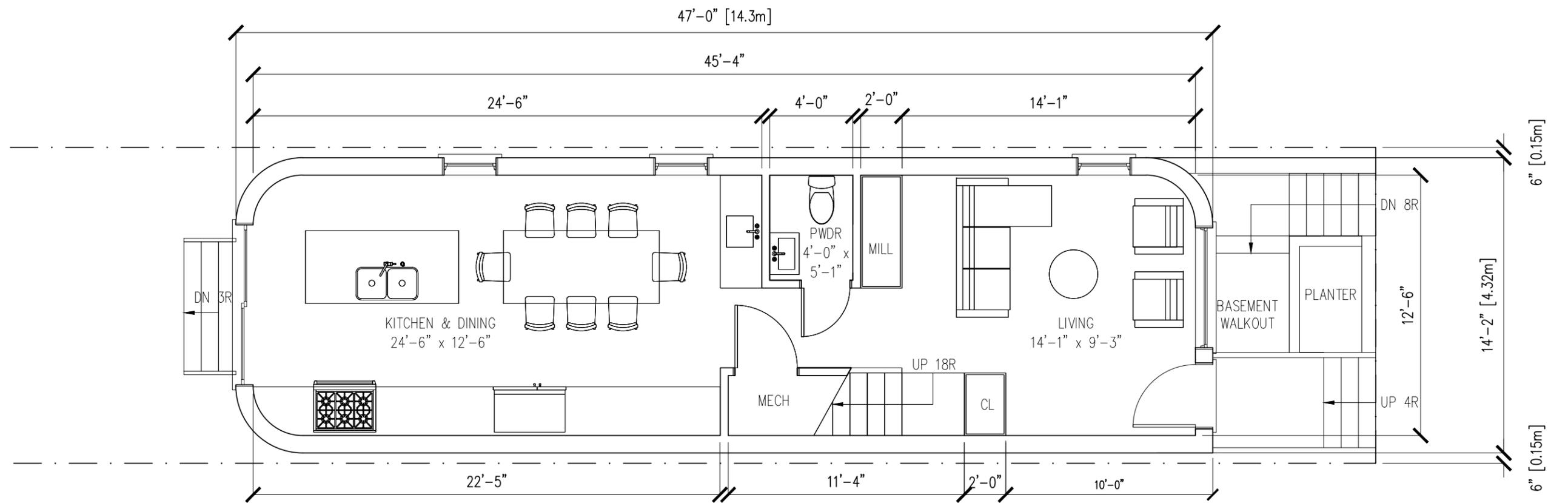
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BRICK CT RESIDENCE PROPOSED
 24 BRICK COURT
 TORONTO, ON
 M4L 3X7

BASEMENT PLAN
 PROJECT: 21114
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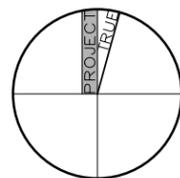
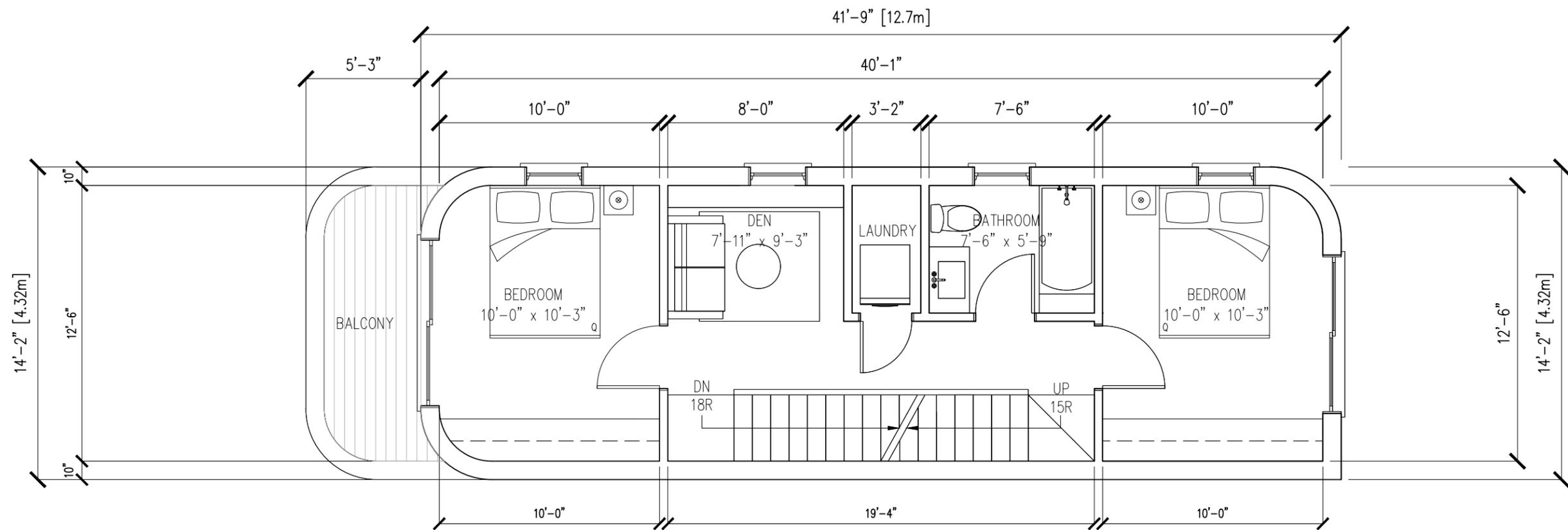
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BRICK CT RESIDENCE PROPOSED MAIN
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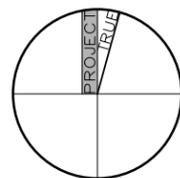
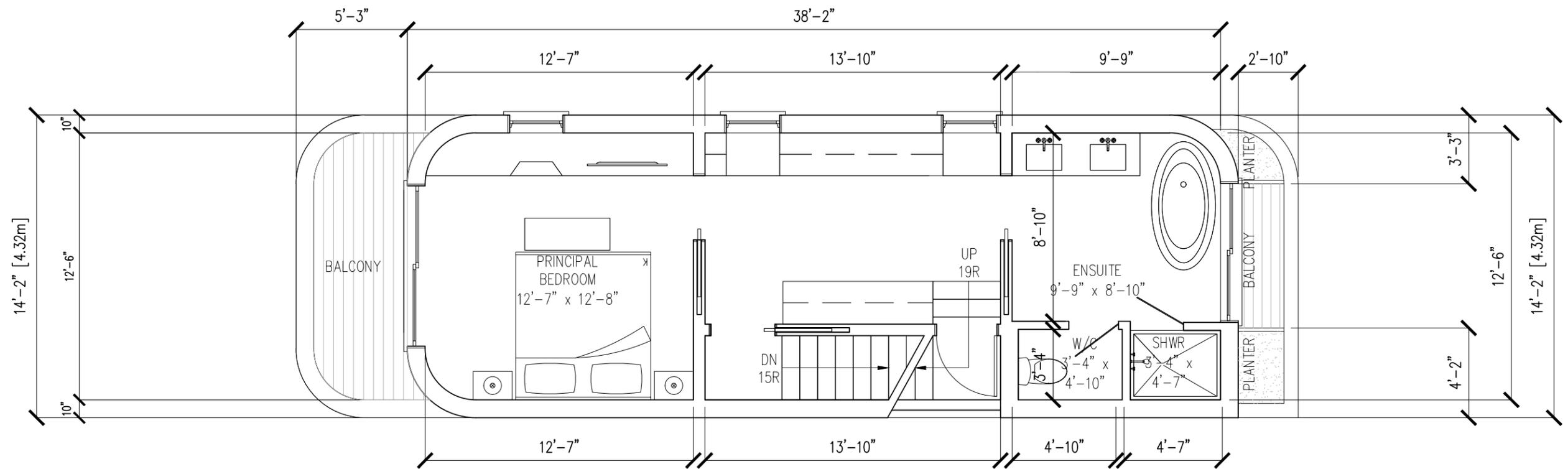
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BRICK CT RESIDENCE PROPOSED SECOND
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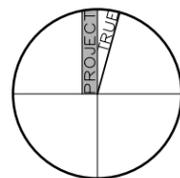
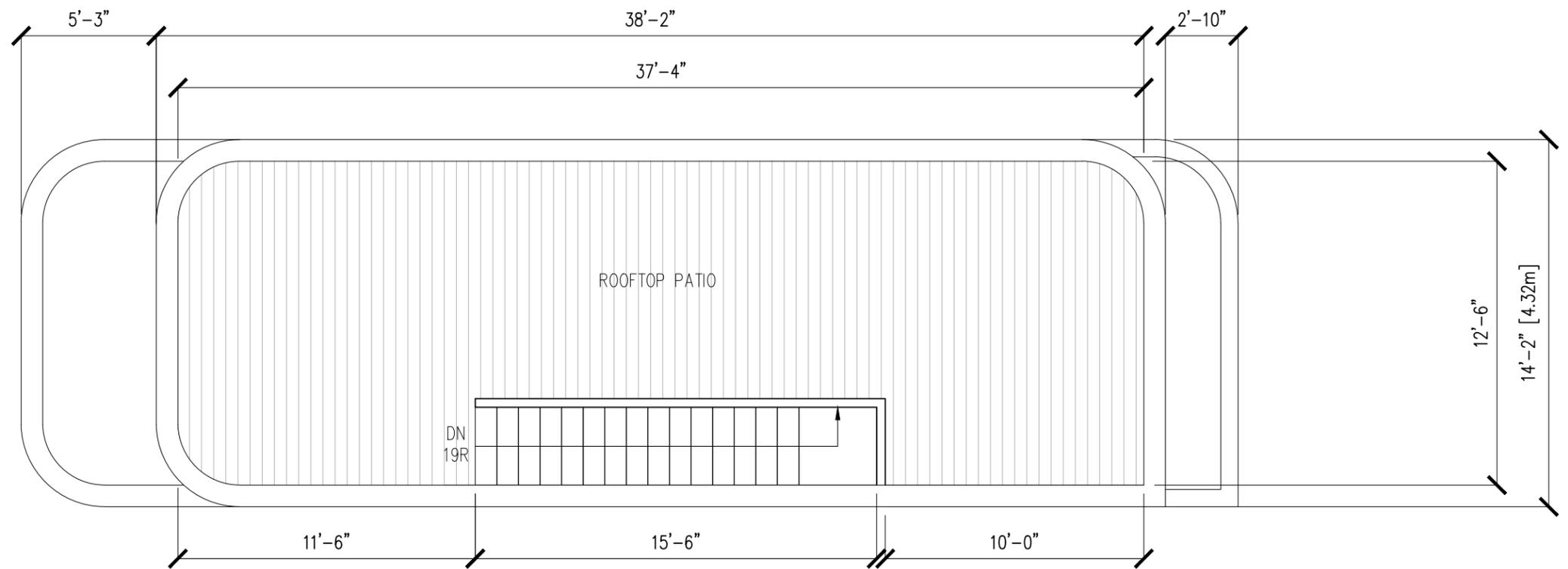
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BRICK CT RESIDENCE PROPOSED THIRD
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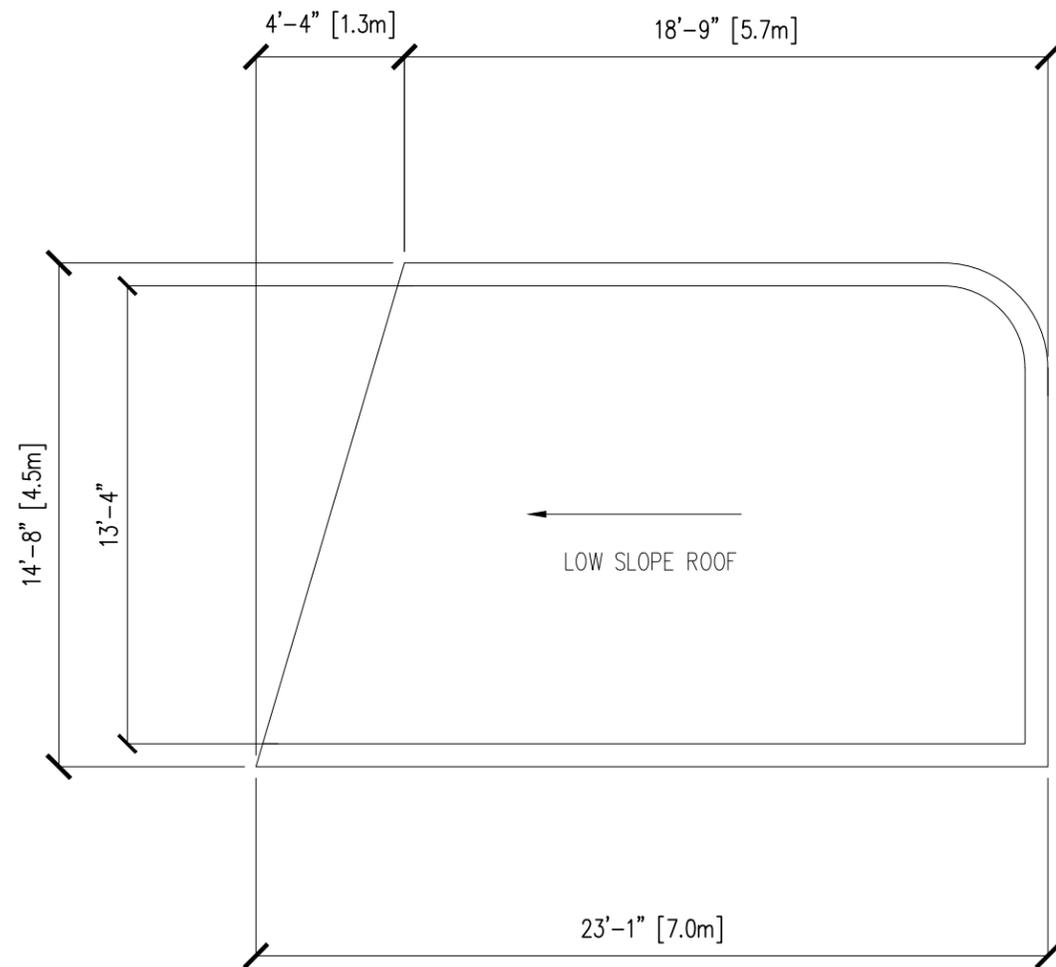
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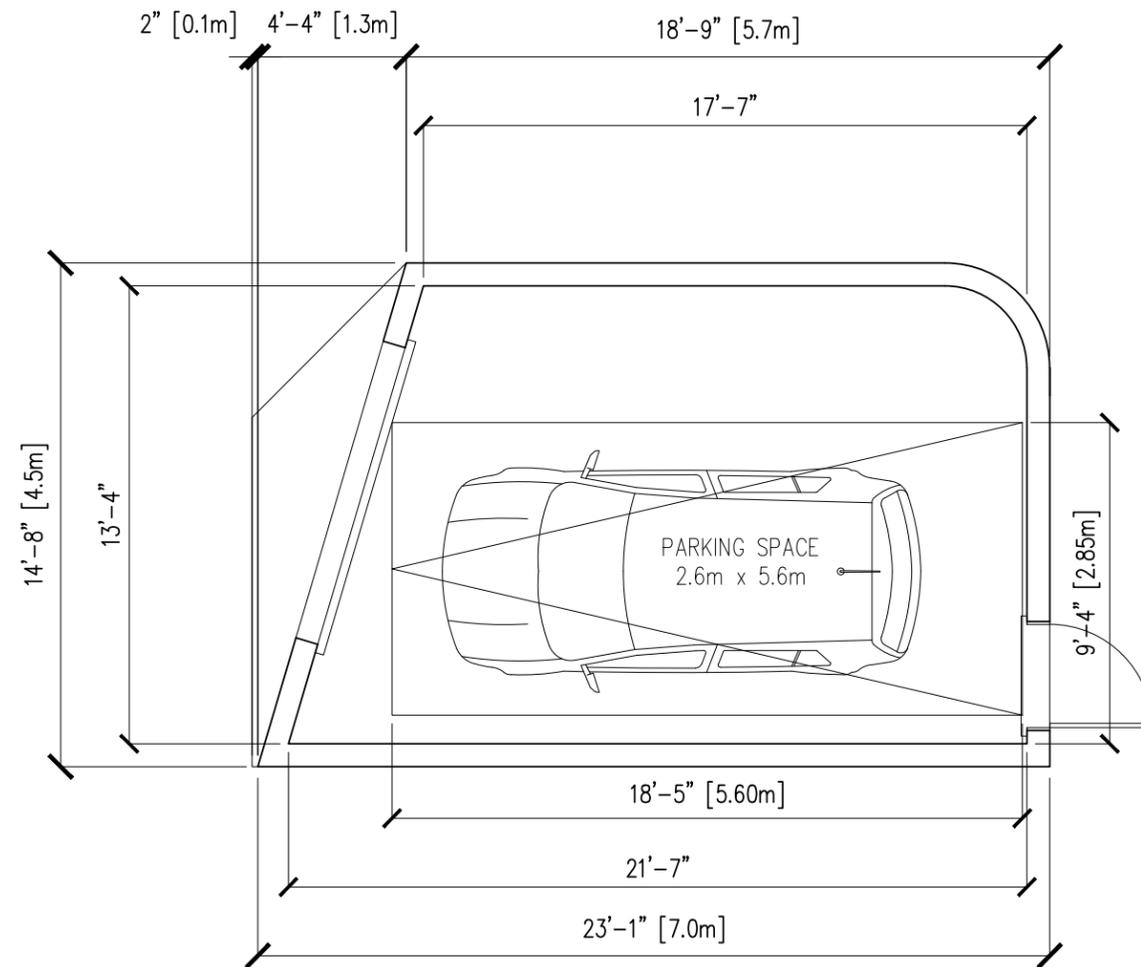
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BRICK CT RESIDENCE PROPOSED ROOF
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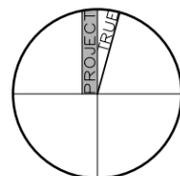
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2 PROPOSED GARAGE ROOF
1/8" = 1'-0"



1 PROPOSED GARAGE PLAN
1/8" = 1'-0"



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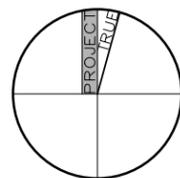
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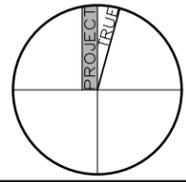
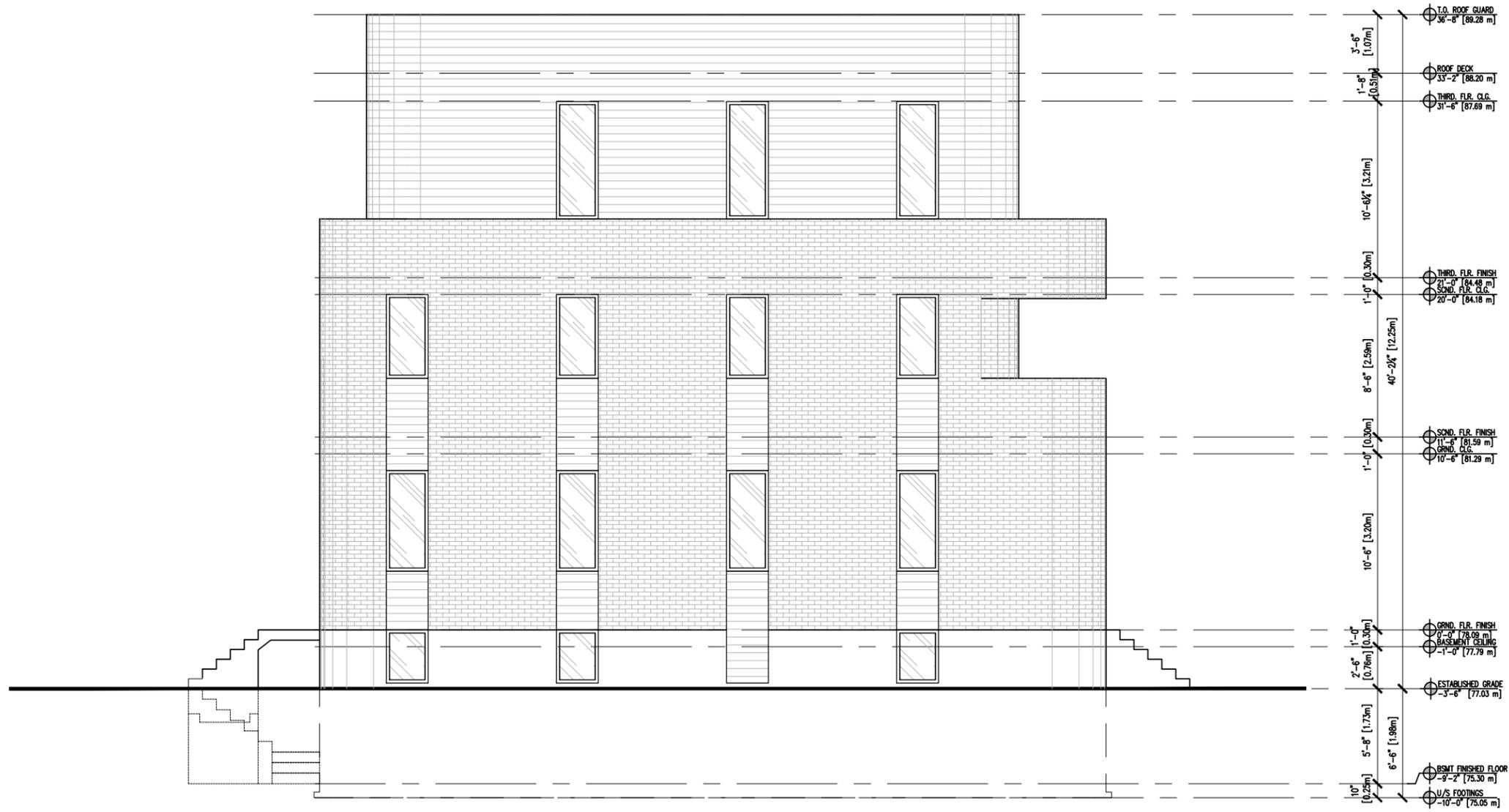
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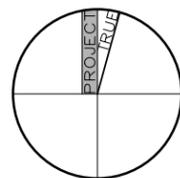
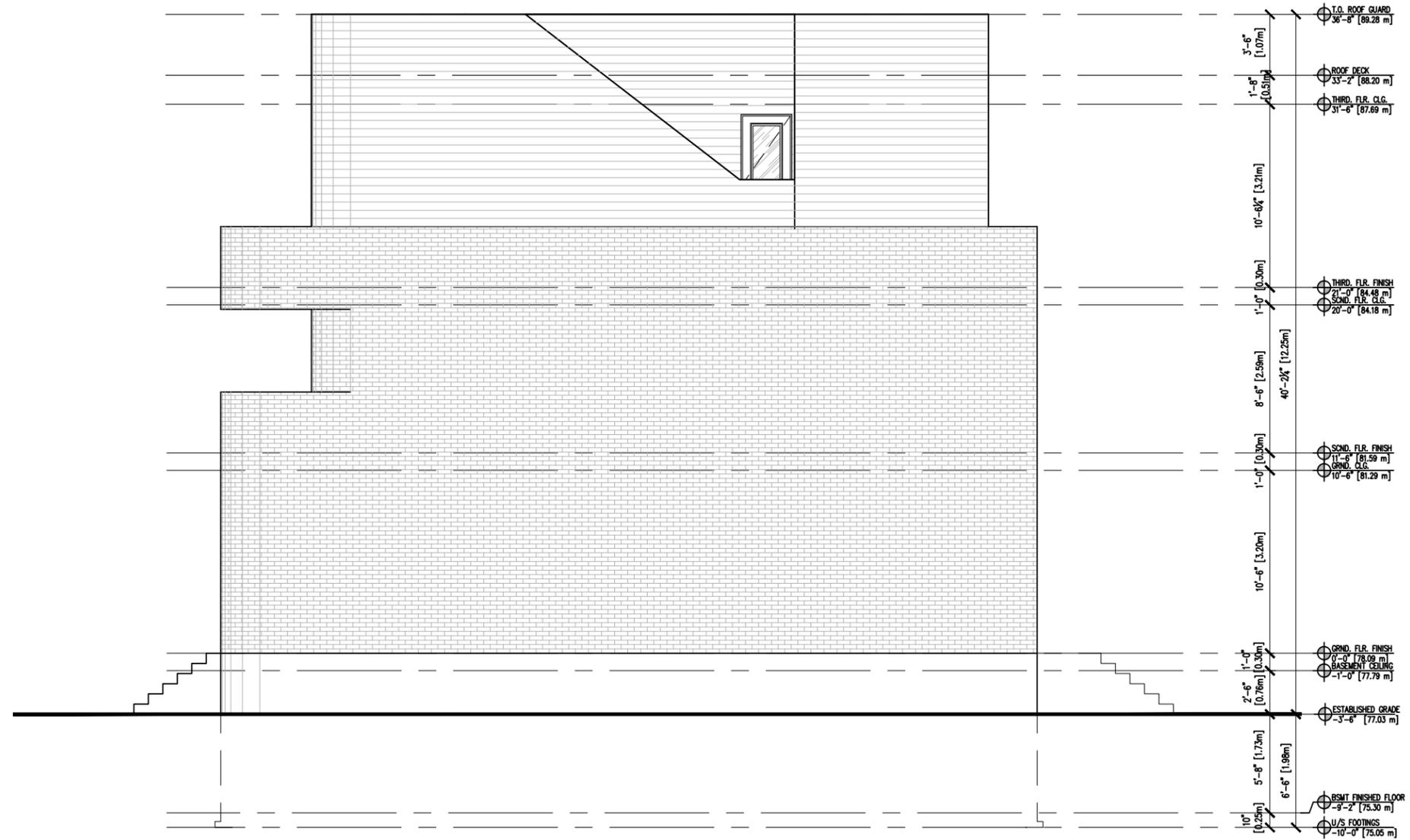
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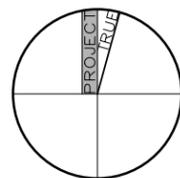
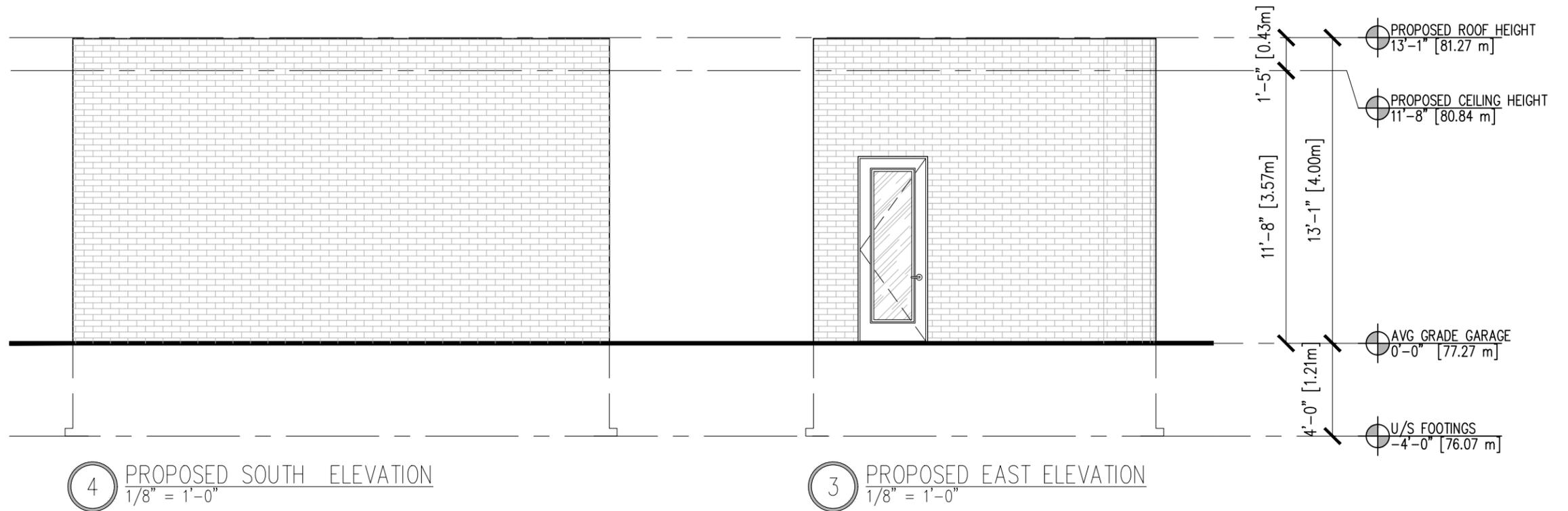
140 YONGE ST. SUITE 200
 TORONTO, ON M5C 1X6
 647 823 6877
 info@craigrace.com

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BRICK CT RESIDENCE PROPOSED SOUTH
 24 BRICK COURT ELEVATION
 TORONTO, ON
 M4L 3X7
 PROJECT: 21114
 SCALE: 1/8" = 1'-0"
 DATE : 2021.08.09

A2.2



2 ISSUED FOR ZCC
1 SITE PLAN APPROVAL
NO. REVISION

2021 AUG 18
2018 MAY 15
DATE

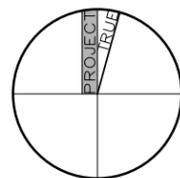
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BRICK CT RESIDENCE GARAGE
24 BRICK COURT
TORONTO, ON
M4L 3X7

ELEVATIONS
PROJECT: 21114
SCALE: 1/8" = 1'-0"
DATE: 2021.08.09

A2.3



2 ISSUED FOR ZCC
 1 SITE PLAN APPROVAL
 NO. REVISION

2021 AUG 18
 2018 MAY 15
 DATE

140 YONGE ST. SUITE 200
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BRICK CT RESIDENCE PROPOSED E-W
 24 BRICK COURT SECTION
 TORONTO, ON
 M4L 3X7
 PROJECT: 21114
 SCALE: 1/8" = 1'-0"
 DATE : 2021.08.09

A3.0